

ANNUAL REPORT

2024-2025

Newfoundland and Labrador
Housing



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Message from the Chair

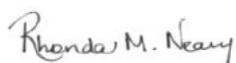
I am pleased to present the 2024-25 Annual Report for the Newfoundland and Labrador Housing Corporation (NLHC). The report provides an overview of key activities, achievements, and financial information for the fiscal year 2024-25.

NLHC's mandate is to develop and administer housing assistance policy and programs for the benefit of low-to-moderate income households throughout the province. This includes seniors, youth, Indigenous persons, persons with disabilities and those experiencing or at risk of homelessness. The Corporation's programs and services support residents of the province to access safe, suitable and affordable housing, which is essential to the social, financial, and physical well-being of individuals and communities. In 2024-25, NLHC made significant progress towards the following three strategic goals:

- Increasing access to affordable and adequate housing;
- Addressing homelessness; and
- Optimizing NLHC-owned housing supply.

As we reflect on the accomplishments of the 2024-25 year, on behalf of the Board of Directors, I would like to extend our sincere gratitude to all our employees and community partners for their continued commitment to addressing the emerging and diverse housing needs of residents throughout our vast province.

This report was prepared under the direction of the Board of Directors of NLHC, in accordance with the requirements of the **Transparency and Accountability Act**. NLHC is a Category One Government Entity and its Board of Directors is accountable for the actual results reported in this document.



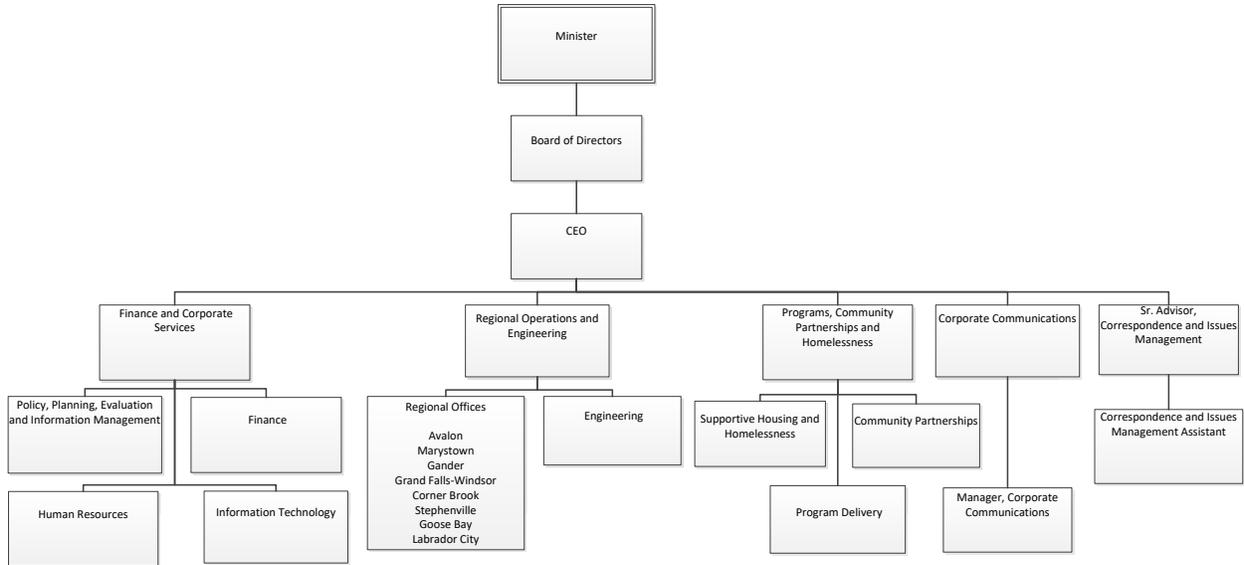
Rhonda Neary
Chair

Corporate Overview

Newfoundland and Labrador Housing Corporation (NLHC) is a provincial Crown Corporation that operates under the authority of the **Housing Corporation Act**. It is governed by a Board of Directors appointed by the Lieutenant Governor-in-Council. Composed of individuals who represent various geographic areas and interest groups, the Board of Directors reports to the Government of Newfoundland and Labrador through the Minister Responsible for NLHC. The Chief Executive Officer is an ex-officio member of the Board and holds primary responsibility for the day-to-day operations of NLHC.

Board of Directors	
Rhonda Neary (Chair)	Portugal Cove-St. Philips
David Loveys (Vice-chair)	Conception Bay South
Karen Alexander	Paradise
Derrick House	Kippens
Colin O'Brien	Happy Valley-Goose Bay
Fraser W. Piccott	St. John's
Bernard Bromley	St. Anthony
Noreen Careen	Labrador City
Liz Palmera-Nunez	St. John's
Darlene Spracklin-Reid	St. John's
Alan Doody, Interim CEO (Non-voting)	St. John's

Organizational Structure



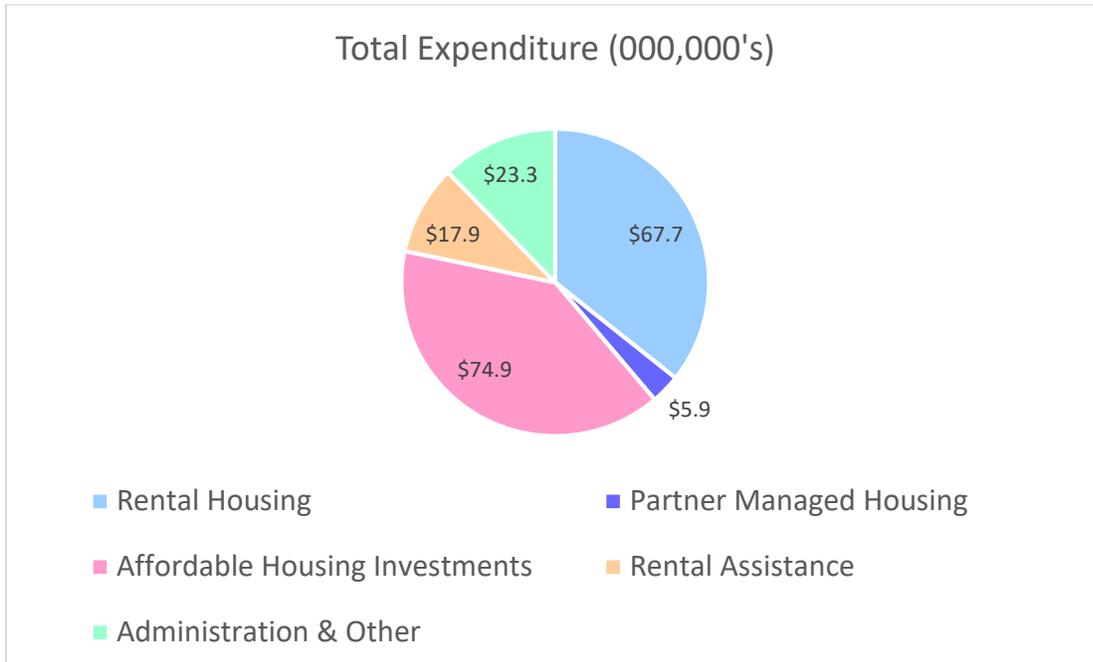
Staff and Budget

As of March 31, 2025 there were a total of 333 permanent and temporary positions across NLHC’s four regions: Eastern, Central, Western and Labrador. In addition to NLHC’s headquarters in St. John’s, there are seven other offices located throughout the province.

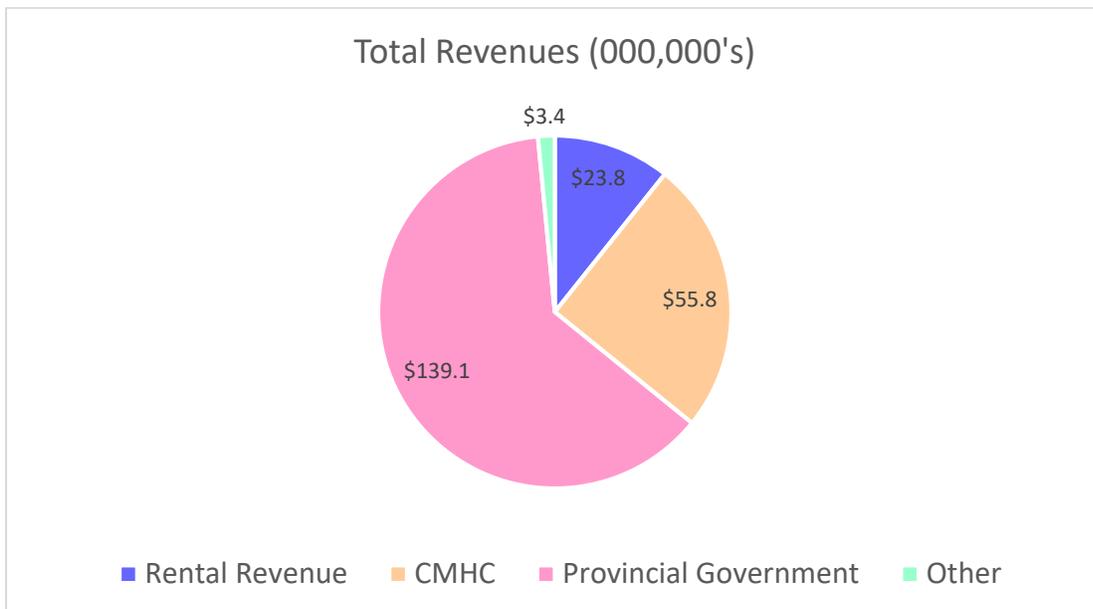
Geographic Area	Location	Number of Positions
Eastern Newfoundland	St. John's	229
	Marystown	7
Central Newfoundland	Gander	10
	Grand Falls-Windsor	25
Western Newfoundland	Corner Brook	37
	Stephenville	11
Labrador	Happy Valley-Goose Bay	10
	Labrador City	4
Total		333

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In 2024-25, NLHC's total expenditures were \$189.7 million. (Refer to the audited financial statements for further details.)



In 2024-25, NLHC's total revenues were \$221.1 million. (Refer to the audited financial statements for further details.)



Vision

Where everyone has access to a safe and affordable place to call home.

Mandate

NLHC's mandate, derived from the **Housing Corporation Act**, is to develop and administer housing assistance policy and programs for the benefit of low to moderate income households throughout the province.

Lines of Business

To support the diverse range of housing needs in the province, NLHC delivers a wide range of programs across the full housing continuum. NLHC's programs are designed to support individuals and families with low-to-moderate incomes who require assistance in accessing or maintaining safe, suitable and affordable housing. As such, the programs serve both renters and homeowners; they support vulnerable populations including those experiencing homelessness, those fleeing gender-based violence, seniors, youth, Indigenous persons and persons with disabilities. An overview of these programs is outlined below:

Rental Housing Program provides for the operation and maintenance of the Corporation's over 5,500 social housing units throughout the province, serving over 12,000 individuals. Tenants pay rental rates based on 25 per cent of their net monthly income.

Tenant and Community Relations Program provides supports and services to tenants along a continuum, spanning from individual supports, to family supports, to eviction prevention and community development initiatives delivered through our community and neighbourhood centres.

Partner-Managed Housing Program provides financial and technical support to partner-managed and cooperative housing providers offering subsidized housing throughout the province.

Rental Assistance Program provides rental subsidies to over 2,500 households to access affordable, adequate and suitable rental accommodations in the private market.

Affordable Rental Housing Program provides financial support to private and community housing developers to create new affordable rental units. Support is provided through capital funding in the form of a forgivable loan for new construction projects, conversion from non-residential or additions to an existing residential structure. Funding amounts are determined by a combination of project location and other attributes. Projects that exceed minimum accessibility, energy efficiency, and duration of affordability requirements as well as proximity to healthcare and geographical location receive additional financial incentives.

Home Repair Programs, comprised of the Provincial Home Repair Program, the Home Energy Savings Program and the Home Modification Program, provide financial assistance to low-income homeowners to complete much needed repairs to their homes, make energy efficiency improvements or support accessibility requirements for seniors and persons with disabilities. It enables individuals and families to exercise choice and self-determination and remain in their own homes.

First-time Homebuyers Program assists individuals and families to transition from the rental market to home ownership. Eligible households are provided a grant of 50 per cent of the legal closing costs up to a maximum of \$1,500, plus a repayable loan up to five per cent of the purchase price of a new or existing home, up to an established maximum purchase price.

Secondary and Basement Suite Incentive Program is designed to grow the availability of affordable housing options throughout Newfoundland and Labrador. The program provides funding to help homeowners create a new, self-contained

secondary or basement suite within their property that is to be rented at below market rates for a period of five years.

Emergency Shelter Program operates a toll free 24/7 emergency shelter telephone line and engages a range of shelter operators to respond to required temporary shelter placement for individuals experiencing homelessness.

Supportive Living Program provides operating grants to non-profit organizations province-wide to prevent and end homelessness, foster long-term housing stability, and develop support services space to provide on-site and outreach services. This program includes a number of supportive housing options with 24/7 staffing and supports.

Transition Housing Program provides funding to the province's ten transition houses to provide safe short-term accommodations, services and resources to support women and their children who are vulnerable to, at risk of, or who have been subjected to intimate partner violence.

NLHC's programs facilitate a variety of community-based housing partnerships, and have provided direct assistance to more than 21,000 individual clients (in more than 11,700 households) across the province in the 2024-25 year. Additional information about programs and services offered by NLHC can be found at:

<https://www.nlhc.nl.ca/>.

Table 1- Corporate Overview of Households and Clients Served

Program	Households	Clients
NLHC Housing	5,255	12,197
Rental Assistance Programs	2,715	3,409
Partner Managed Housing	986	1,228
Co-op Housing and Federal Portfolio	130	n/a ¹
Investment in Affordable Housing	920 ²	1,169
Affordable Rental Housing Program	8	10
Home Modification Program	430 ³	695 ³
Provincial Home Repair Program	973 ³	1,113 ³
Home Energy Savings Program	372	429
Workplace NL	n/a ⁴	5 ⁵
Emergency Shelters	n/a ⁴	1,737
Transition House Program	n/a ⁴	939
TOTAL	11,789	21,931

¹ Individual client data is not applicable as these programs serve households.

² The total number of affordable housing units that are in operation and providing rental housing services.

³ Inclusive of forgivable and repayable loan commitments.

⁴ Household data is not applicable as these programs serve/count individual clients.

⁵ Inspections completed for Workplace NL formally known as Workplace Health, Safety and Compensation Commission clients.

Highlights and Partnerships

As in previous years, NLHC's ongoing commitment to bolster access to affordable housing, address homelessness and optimize NLHC-owned housing stock in the 2024-25 year has yielded strong partnerships and notable results worthy of being highlighted.

Significant progress has been made to stimulate development of affordable rental housing and support first-time home-buyers' transition from the rental market to home ownership through further advancement of the Government of Newfoundland and Labrador's Five-Point Plan. 46 out of the 461 units approved through the Five Point Plan Loan Program are in active construction while 41 basement/secondary suites have been approved under the Secondary and Basement Suite Incentive Program. With the assistance of the First-Time Homebuyer's Program, 209 homes were purchased by individuals or families in the 2024-25 year.

NLHC continues to work with partners to meet targets of the National Housing Strategy (NHS) and to build more affordable housing that reflects the needs of the community. One example of this collaborative work is a partnership with the Community Housing Transformation Centre (CHTC) to establish a \$1.5 million Newfoundland and Labrador Community Housing Growth Fund. The fund supports non-profit, co-operative and Indigenous organizations and registered charities to pursue the creation of affordable housing with planning and pre-development work, allowing them to take advantage of funding opportunities from all levels of government. Launched in 2024, by March 31, 2025 it has offered support to 15 projects. The successful funding recipients include: a new housing project that will add an additional 20 units for seniors in Mount Pearl; a 60-unit housing development in St. John's specifically for seniors as well; a mixed-income, community-led housing cooperative that will feature 30 homes in Portugal Cove-St. Phillip's; 12 affordable units in Corner Brook; and, eight affordable housing units serving seniors, newcomers, young adults and those experiencing homelessness in Port Rexton.

Great strides have been made toward serving people experiencing homelessness in shelters throughout Newfoundland and Labrador. In 2024-25, NLHC signed an agreement as part of the Federal Government's Unsheltered Homelessness and Encampments Initiative (UHEI), that will see an additional \$2 million invested in measures to address unsheltered homelessness throughout the province. New investments through this agreement include the construction of 10 new provincially owned micro-homes in St. John's – to be built on NLHC-owned land – as well as funding to support the operations of End Homelessness St. John's (EHSJ), including its Housing Outreach Team and its Supported Referrals Program. These investments will make meaningful and lasting impacts in our shared efforts to support individuals who are experiencing or at risk of homelessness, or who are unsheltered. The agreement recognizes the Government of Newfoundland and Labrador's significant investments in emergency shelter and transitional housing, anticipated to be over \$30 million during each year of the agreement (2024-25 to 2025-26).

To further ensure quality and safe operations in emergency shelters throughout the province, and following extensive, in-depth consultations with individuals, organizations and community partners, Provincial Shelter Standards were released in July 2024. These standards apply to all emergency shelters in receipt of funding from the Government of Newfoundland and Labrador. Key objectives entail quality and safe operations in emergency shelters that ensure basic needs are met; lowering barriers to shelter access; and the need to be housing-focused and support those in shelter to secure more stable housing options.

In partnership with the Government of Canada and the Town of Happy Valley-Goose Bay (HVGB), the Government of Newfoundland and Labrador facilitated the opening of 16 new affordable homes. Built through a federal investment of \$5 million from the third phase of the Rapid Housing Initiative (RHI), these new affordable units are owned and operated by NLHC. These additional units target the areas of greatest need as one- and two-bedroom units are in highest demand. Four of the homes consist of two-bedrooms

while the other 12 are one-bedroom units. All 16 were constructed with universal design features, two of which are fully accessible while another six are visitable.

Delivering on commitments and strengthening partnerships has rendered great successes in the 2024-25 year that will have lasting impacts on the lives of individuals and households served by NLHC's programs and initiatives.

Report on Performance

Issue One: Increasing Access to Affordable and Adequate Housing

NLHC's programs support the diverse housing needs of both renters and homeowners throughout the province. NLHC's 2024-25 accomplishments directly support vulnerable households including young adults, Indigenous people, persons with disabilities, seniors, and those experiencing homelessness or fleeing violence.

Home repair, accessibility modification and energy efficiency programs play a particularly key role in supporting the affordability needs of low-income homeowners. Not only do the accomplishments of these programs support seniors in rural areas to age in place, but they benefit diverse populations to maintain suitable housing in urban and rural areas.

Throughout the 2024-25 year, NLHC implemented a number of measures designed to enhance access to suitable and affordable housing. Increased demand and growing waitlists show that such measures have impacts not only on the housing market, but directly benefit individuals and families who require assistance to access affordable housing. Newfoundland and Labrador's commitments under its bilateral agreement related to the NHS include a 15 per cent expansion target for social rental housing by March 31, 2028. This equates to an increase of 894 units to the affordable housing market. The accomplishments presented here build upon the work already accomplished and the continued progress toward this target.

Goal

By March 31, 2026, NLHC will have increased access to affordable and adequate housing for individuals and families with low-to-moderate incomes.

2024-25 Objective

By March 31, 2025, NLHC will have continued to increase access to affordable and adequate housing for individuals and families with low-to-moderate incomes.

2024-25 Indicator	Accomplishments
500 new households receiving rental benefits.	In 2024-25, 815 new households received rental benefits.
Number of affordable housing projects provided final approval.	In 2024-25, 37 affordable housing projects received final approval.
900 households approved for financial assistance for home repairs.	In 2024-25, 973 households were provided approval for financial assistance for home repairs.
300 households approved for financial assistance for accessibility modifications.	In 2024-25, 430 households were provided approval for financial assistance for accessibility modifications.
175 households approved for financial assistance for energy efficiency upgrades.	In 2024-25, 372 households were provided approval for financial assistance for energy efficiency upgrades.
Work commenced or completed on construction of new NLHC units.	In the 2024-25-year, construction commenced on 32 NLHC units in Pleasantville neighborhood of St. John's and completed on 16 new NLHC units in HVGB. Planning work commenced for new units in the Western and Central regions and on the design of a 40-unit apartment building for the St. John's neighborhood of Pleasantville.
Review of home repair programs completed.	In 2024-25, an evaluation and review of NLHC home repair programs was completed. The report is expected to be finalized in late Spring 2025.

Discussion of Results:

Projects that support the diverse housing needs of both renters and homeowners made substantial impacts on the lives of residents throughout the province this past year. New affordable housing was constructed; portable rental benefits were expanded; and, financial assistance for home repairs, accessibility modifications, and energy efficiency upgrades was provided. For example, work advanced on NLHC's Affordable Rental Housing Program (ARHP), a provincial investment of over \$80 million to provide one-time capital funding in the form of a forgivable loan to assist in the creation of affordable

rental homes throughout the province. Of the 64 successful proponents, 40 have been given final approval to date. This important \$80 million investment is expected to support the construction of approximately 800 new affordable rental housing units throughout the province. A federal investment of \$5 million resulted in the construction of 16 units in the town of HVGB. These new builds are owned and operated as part of NLHC's rental housing portfolio. By the end of 2024, individuals and families occupied all 16 new affordable homes. Further, a total of 815 households received rental benefits in the 2024-25 year. Given the high rental rates throughout the province and the lack of affordable housing, the impact of these rental benefits for 815 clients cannot be underestimated. A total of 973 households were approved for financial assistance for home repairs; 430 households were approved for financial assistance for accessibility modifications; and 372 households were approved for financial assistance for energy efficiency upgrades. These significant accomplishments to increase access to adequate and affordable housing in the 2024-25 year have positively impacted the lives of individuals and families residing in over 2,600 households throughout this vast province.

2025-26 Objective

By March 31, 2026, NLHC will have further increased access to affordable and adequate housing for individuals and families with low-to-moderate incomes.

Indicators:

- Increase the number of new households receiving rental benefits by 200 households.
- Continue to progress the number of affordable housing units available through project approvals, housing units started and completed.
- Increase the number of households approved for financial assistance for home repairs by 900 households, accessibility modifications by 350 households and energy efficiency upgrades by 250 households
- Advanced or completed work on additional NLHC units.
- Began the implementation of recommendations from the Home Repair review.

Issue Two: Addressing Homelessness

Similar to trends across the country, the prevalence of homelessness has increased throughout the province in the last number of years. Affordable and supportive housing play important roles in addressing homelessness and maintaining and providing successful tenancies. Strong partnerships and coordination of expertise and resources can effectively focus efforts to address the needs of those experiencing or at risk of homelessness, and support housing stability for residents throughout the province.

In response to this, NLHC implemented a number of initiatives in the 2024-25 year in an effort to support the most vulnerable individuals and families throughout Newfoundland and Labrador. By maintaining and enhancing key partnerships, NLHC has supported eviction prevention measures, coordinated homelessness responses, expanded shelter and supportive housing options, and continued to prioritize access to social housing units and rental assistance in the private market for those experiencing homelessness or fleeing gender-based violence.

These initiatives assisted individuals and families to exit homelessness as well as prevented new inflows into homelessness. The accomplishments presented here demonstrate that collaborative efforts and a targeted approach have real-world impacts on vulnerable populations, resulting in enhanced housing stability and decreased homelessness.

Goal

By March 31, 2026, NLHC will have increased targeted and coordinated responses to support housing stability for people experiencing or at risk of homelessness.

2024-25 Objective

By March 31, 2025, NLHC will have implemented further initiatives and supported new partnerships to improve housing stability for those experiencing or at risk of homelessness.

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2024-25 Indicator	Accomplishments
250 individuals will have received eviction prevention funding.	In 2024-25, 356 individual households received eviction prevention funding.
Increased supports for Outreach positions.	In 2024-25, approximately \$130,000 in funding was provided to EHSJ to hire two additional Outreach workers.
Increased staffed, low-barrier emergency shelter options.	In December 2024, funding from NLHC made it possible for The Gathering Place to add 10 new emergency shelter beds. In addition, funding from NLHC facilitated Connections for Seniors to open a new 16 bed low-barrier emergency shelter on Patrick Street in St. John's in February 2025.
Commenced implementation of shelter standards.	In July 2024, Shelter Standards were released and since then a dedicated Shelter Standards Supervisor has been hired to work with NLHC staff and operators to implement recommendations from the Shelter Standards report.
Increased number of transitional and/or supportive housing options.	<p>In 2024-25, over 92 individuals were provided transitional living services at Horizons @ 106.</p> <p>On Nov 5, 2025, through funding from NLHC, The Gathering Place officially completed construction of Mercy House containing 52 new supportive and transitional living spaces and which commenced intake in February 2025.</p> <p>On August 16, 2024, NLHC announced a \$1.3 million investment toward the acquisition and operation of a new transitional housing initiative in Gander in partnership with the Central Residential Services Board. By February 2025, 15 transitional housing beds and supports were operational at this site.</p> <p>In 2024-25, a supportive living provider, Empowerment Housing, expanded into two additional NLHC units and now provides supportive living services to 12 individuals that were previously experiencing homelessness.</p>

2024-25 Indicator	Accomplishments
Prioritized access to affordability measures and housing for individuals experiencing homelessness.	In 2024-25, 452 households on NLHC’s waitlist, coded as Unsheltered or Displaced, were served through NLHC’s rental housing/rental assistance programs.
Further progress on the new Integrated Health, Housing, Treatment and Supportive Hub in Happy Valley-Goose Bay (the Hub).	<p data-bbox="678 449 1414 562">During May 2024, NLHC and the Design Team (Woodford Architecture and Lateral Office) hosted a series of four public information sessions in HVGB.</p> <p data-bbox="678 604 1382 800">In early November 2024, meetings were held with the operator (Nunatsiavut Government) and NL Health Services to confirm the configuration and workflows of the staffing complement and health services on site.</p> <p data-bbox="678 842 1349 913">This input has supported the design team to advance the final design of the Hub in 2024-25.</p>

Discussion of Results:

Throughout the course of the 2024-25 year, NLHC, in collaboration with community partners, increased a number of targeted and coordinated responses to support housing stability for people experiencing or at risk of homelessness.

The Housing Stability Fund assisted 356 individual households in 2024-25, exceeding the target of supporting 250 individuals, with eviction prevention funding. A great number of these interventions prevented evictions and diverted the potential need for emergency shelter accommodations.

To advance the commitment to increase support for outreach positions, almost \$130,000 in funding was provided by NLHC to EHSJ to expand their Outreach Team by two positions. This funding directly impacted the lives of those experiencing or at risk of homelessness. As a result of this funding, the Outreach Team had the resources to conduct 308 shelter/community agency visits and 190 mobile/unsheltered visits. In addition, 314 housing NLHC applications and 240 tax returns were completed. A total of 1,479 client interactions were logged over the course of the 2024-25 year.

As of March 31, 2025, 75 individuals were residing at the Horizons @ 106. Since opening in 2024, a total of 17 individuals were assisted in successfully transitioning to more stable housing: two moved into social housing; one individual moved into community housing and 13 individuals acquired a private rental with the assistance of an affordable rental benefit. Collaborative efforts to best serve this population has accomplished great successes, particularly with integration of health services onsite at the Horizons @ 106.

Addressing homelessness requires targeted and coordinated responses among all orders of government, in conjunction with community partners, to institute effective accomplishments that support housing stability for people experiencing or at risk of homelessness.

2025-26 Objective

By March 31, 2026, NLHC will have further implemented targeted and coordinated responses to improve the system and supports for those experiencing or at risk of homelessness.

Indicators:

- Maintain eviction prevention support by providing funding assistance to a minimum of 250 individuals annually.
- Continue to increase the number of transition and/or supporting housing options available.
- Further progress made on the implementation of Shelter Standards.
- Prioritized access to affordability measures and housing for individuals experiencing homelessness.

Issue Three: Optimizing NLHC-owned Housing Stock

NLHC achieved a number of accomplishments in improved quality, energy efficiency and accessibility in NLHC-owned housing stock this past year. As the largest landlord in the province, NLHC provides safe and affordable homes to over 12,000 individuals throughout Newfoundland and Labrador. As such, initiatives accomplished in the 2024-25 year have greatly contributed to enhanced living conditions for all those residing in NLHC homes.

Preserving, repairing and upgrading public housing stock to meet the needs of current and future tenants is a priority for NLHC and aligns with key focus areas of the federal NHS. The NHS has targets that would see 100 per cent of established baseline of social housing units preserved to 2028, while also targeting repairs to 20 per cent of the baseline units.

Planning and investing in major repairs for vacant units results in individuals and families being provided access to affordable housing in a timely manner. Maintaining and improving the quality of all NLHC-owned units and enhancing energy and accessibility features improves living conditions for tenants. Finally, exploring best use options for housing stock in new and innovative ways ensures NLHC continues to meet the diverse housing needs of a range of clients.

Goal

By March 31, 2026, NLHC will have enhanced its housing stock to improve living conditions for clients.

2024-25 Objective

By March 31, 2025, NLHC will have further improved its housing stock to meet clients' evolving needs.

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2024-25 Indicator	Accomplishments
600 exterior renovations completed.	In 2024-25, 678 exterior renovations were completed.
150 interior renovations completed.	In 2024-25, 155 interior renovations were completed.
500 units with improved energy efficiency.	In 2024-25, 523 units received energy efficiency improvements.
Accessibility features incorporated in NLHC-owned units to meet clients' needs.	In 2024-25, 98 accessibility features were incorporated in NLHC-owned units and met clients' needs.
75 civil infrastructure upgrades completed.	In 2024-25, 190 civil infrastructure upgrades were completed.
Underutilized housing stock reviewed for future use.	<p>In 2024-25:</p> <ul style="list-style-type: none"> • One underutilized NLHC unit was sold in Gander. • Six underutilized units were recommended for sale in Avalon, as well as one in Grand Falls-Windsor. • NLHC identified 13 units as having no demand. • Four units in Avalon, 32 units in Corner Brook and one unit in Stephenville were demolished. Corner Brook's units will be replaced with new builds. • Two NLHC units in Avalon are being used by community groups for supportive housing initiatives.

Discussion of Results:

In 2024-25, by improving the quality, energy efficiency and accessibility of housing stock, NLHC not only extended and enhanced the long-term viability of its stock, but ensured timely and appropriate modifications met the evolving needs of tenants.

Of the 75 civil infrastructure upgrades planned to be completed in the 2024-25 year, the target was exceeded by an additional 115. Similarly, the target to complete 600 exterior renovations was exceeded by 78; energy efficiency upgrades was exceeded by 23; and, the target to complete 150 interior renovations was exceeded by five.

NLHC's target to incorporate accessibility features in NLHC-owned units to meet clients' needs saw 98 individual units modified to include accessibility features. A review of underutilized housing stock to determine best future use is a continuous initiative and through which a number of units in rural areas were deemed to have no demand, have been sold or earmarked for sale; some units have been designated for demolition, to be replaced by new builds; while other units have been reserved for community partners to use for the direct benefit of vulnerable populations.

These accomplishments have all advanced the Corporation's overall goal to improve the quality, energy efficiency and accessibility of our housing stock.

2025-26 Objective

By March 31, 2026, NLHC will have modernized and improved its housing stock and related infrastructure to improve living conditions for clients.

Indicators:

- Advance the renovation efforts on existing housing units by completing 600 exterior renovations, 150 interior renovations and 500 units with energy efficiency upgrades.
- 50 accessibility features incorporated in NLHC-owned units to meet client's needs.
- Advance civil infrastructure by completing 125 upgrades to support housing and community development.
- Develop and progress recommendations for underutilized housing stock.

Opportunities and Challenges

Economic uncertainty, caused by the threat of trade tariffs and counter-tariffs, is anticipated to negatively impact the housing supply chain, labour force and construction costs. These challenges emerged as potential barriers to success for NLHC in early 2025. The scope and depth of impact tariffs and counter-tariffs will have on the housing market more broadly and on the work of NLHC specifically remains to be seen. Despite these looming threats of economic uncertainty, throughout the 2024-25 year, NLHC addressed market demand for affordable housing, implemented innovative, long-lasting solutions to curb homelessness, and improved the quality of its housing stock. All of this directly resulted in the enhanced living conditions of NLHC's clients. Furthermore, these accomplishments contributed to a reduction in core housing need and an increase in affordable housing options to meet expanding demand.

In recognition of current and future challenges, a meeting was held in August 2024 to discuss further opportunities of collaboration between the Atlantic Ministers responsible for Housing and the Federal Minister of Housing and Infrastructure. Atlantic Ministers proposed a targeted federal investment to meet the immediate housing needs across Atlantic Canada and match the significant provincial investments in the region. This mutual desire for collaboration is a critical step toward ensuring all Atlantic Canadians, including all residents of Newfoundland and Labrador, have access to adequate housing.

The Atlantic Innovation Initiative was established in 2023 as a result of the region's collaborative commitment to seeking innovative solutions to accelerate housing supply in the face of current and emerging challenges. This work was advanced throughout the 2024-25 year. One of the results of this vital partnership has been a collaboration with the Off-site Construction Research Centre (OCRC). In the Spring of 2025, OCRC commenced a project to complete an in-depth analysis for off-site construction and modular housing viability in the Atlantic region. The final report is expected in early 2026.

While the opportunity to bolster affordable housing supply by means of off-site construction and modular housing in the province remains to be seen, great strides have taken place in the 2024-25 year to advance traditional construction of affordable housing. Through a co-investment of Provincial and Federal Governments, significant and much-needed housing developments are on the horizon. A combined total of \$44 million was announced in February 2025 to help build over 280 new homes in the province. This co-investment opportunity proceeds from the federal Government's Affordable Housing Fund (AHF) and NLHC's ARHP. The AHF provides funding through low-interest and/or forgivable loans or contributions to partner organizations for new affordable housing and the renovation and repair of existing, affordable and community housing. This \$14.6 billion program is under the NHS and gives priority to projects that help people who need it most.

The 26 projects receiving funding through the federal AHF are also proponents of the NLHC's \$80 million ARHP, first announced in November 2023. These projects account for \$17.9 million of the total ARHP funding, which supports private and community sector construction projects with a one-time forgivable loan. Successful proponents of this program will own and manage their projects and rent to lower income households at or below rates established by NLHC, based on annual market reports published by Canada Mortgage and Housing Corporation (CMHC).

Further expansion of NLHC-owned housing stock is expected by Fall 2025. In October 2024, two contracts with a combined value of \$1.8 million were awarded to develop provincially-owned homes in Labrador West. This will further assist six individuals or families to secure safe and affordable housing in Labrador. Four new one-bedroom homes will be constructed under the first contract, valued at \$1.3 million. This fourplex will feature two fully accessible one-bedroom units on the main level, as well as two one-bedroom units on the second level. These four units are replacing two NLHC units that were destroyed by fire in 2022. Extensive interior and exterior renovations to two three-bedroom homes that have been vacant since 2019 will be covered under the

second contract, valued at \$470,000. In recent years NLHC has faced challenges of advancing work to repair vacant units in remote areas of Labrador as well as rebuild irreparable units in such geographically isolated locations. These projects will make a substantial impact to address housing needs in the area and strengthen these communities.

In an effort to expand affordable housing options and meet the diverse range of needs for residents of the province, not only has NLHC repaired hundreds of units and offered them to tenants, but it has made further investments in providing rental subsidies for one and two-bedroom units. This reduces wait-times for individuals and families in core housing need. The expansion of shelter options and innovative, collaborative efforts to provide transitional housing with wrap-around services has also helped to alleviate chronic homelessness and provide a pathway for many to access affordable housing.

Awareness of local need and anticipation of potential future challenges are essential qualities of NLHC and enable its effective adaptation. As challenges arise, opportunities are created for NLHC to develop, administer and implement dynamic housing assistance programs and initiatives to meet the current and emerging needs of residents throughout the vast geography of the province.

Financial Information